



CITY OF ST. PETERSBURG, FLORIDA
PLANNING AND DEVELOPMENT SERVICES DEPARTMENT
URBAN PLANNING AND HISTORIC PRESERVATION DIVISION

STAFF REPORT

Community Planning and Preservation Commission Certificate of Appropriateness Request

Report to the Community Planning and Preservation Commission from the Urban Planning and Historic Preservation Division, Planning and Development Services Department, for Public Hearing and Executive Action scheduled for **Tuesday, October 12, 2021, beginning at 2:00 p.m.**, in Council Chambers of City Hall, 175 Fifth St. N., St. Petersburg, Florida. Everyone is encouraged to view the meetings on TV or online at www.stpete.org/meetings.

According to Planning and Development Services Department records, Commissioner Jeff Wolf resides or has a place of business within 2,000 feet of the subject property. All other possible conflicts should be declared upon the announcement of the item.

Case No.:	21-90200115
Address:	217 10 th Ave. NE
Legal Description:	BAYVIEW ADD BLK 8, E 20FT OF LOT 8 & W 55FT OF LOT 9
Parcel ID No.:	18-31-17-05274-008-0090
Date of Construction:	1920
Local Landmark:	North Shore Section – 200 Block of 10 th Ave. NE (17-90300004)
Owners:	Michael Hussey and Mary Ellen Hussey
Request:	Review of a Certificate of Appropriateness for the construction of an accessory building at 217 10th Ave. NE, a contributing property to a local historic district



Historical Context and Significance

The Craftsman style house at 217 10th Ave. NE was constructed in 1920. It appears that the original garage apartment was constructed at that time as a single-story garage, as it appears in the 1923 Sanborn map shown in Figure 1. The second story was added as servants' quarters in 1936 according to permit records.

The subject property has been designated a contributing property to both the 200 Block of 10th Avenue Northeast Historic District (17-90300004) and North Shore National Register Historic District. Because of its location within the 200 Block of 10th Avenue Northeast Historic District, a Certificate of Appropriateness (COA) is required for exterior alteration and new construction.

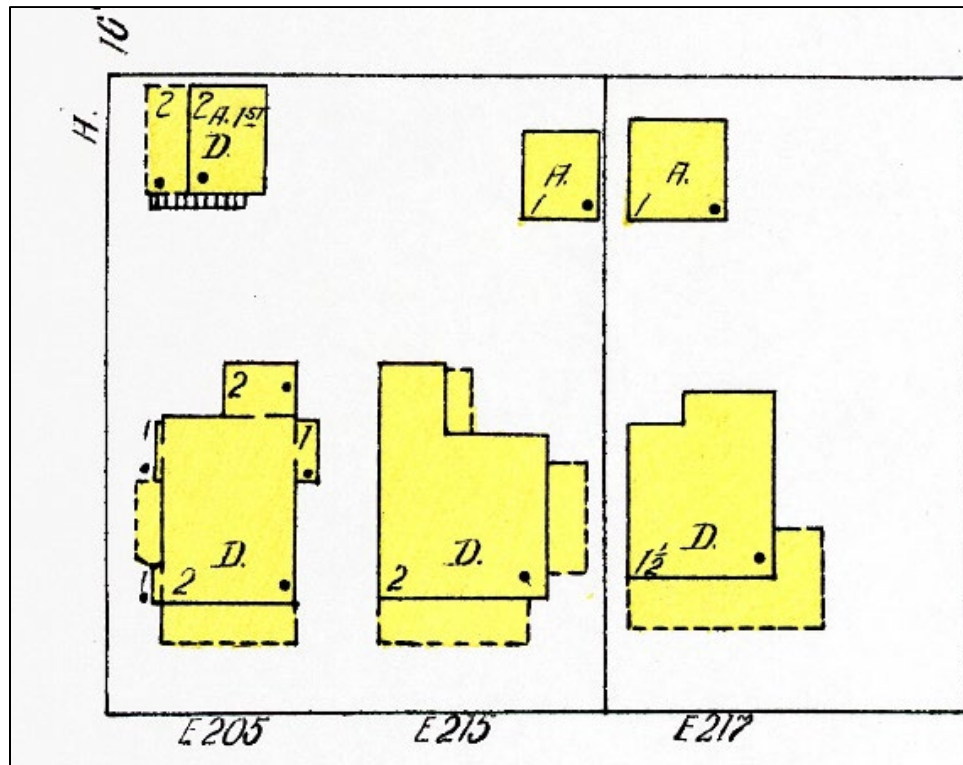


Figure 1: 1923 Sanborn map of subject property.

Project Description and Review

Project Description

Demolition of the fire-damaged garage apartment at the subject property was ordered by St. Petersburg's Building Official (Appendix A). As such, no COA was required for the demolition.

The COA application being considered herein (Appendix B) proposes the construction of a 24-foot by 20-foot garage apartment building with a two-car garage at the ground floor and approximately 480 square feet of living space above. The historic building it would replace was approximately 20 feet by 18 feet at the ground level with a 20 foot by 24 foot second level dwelling unit.

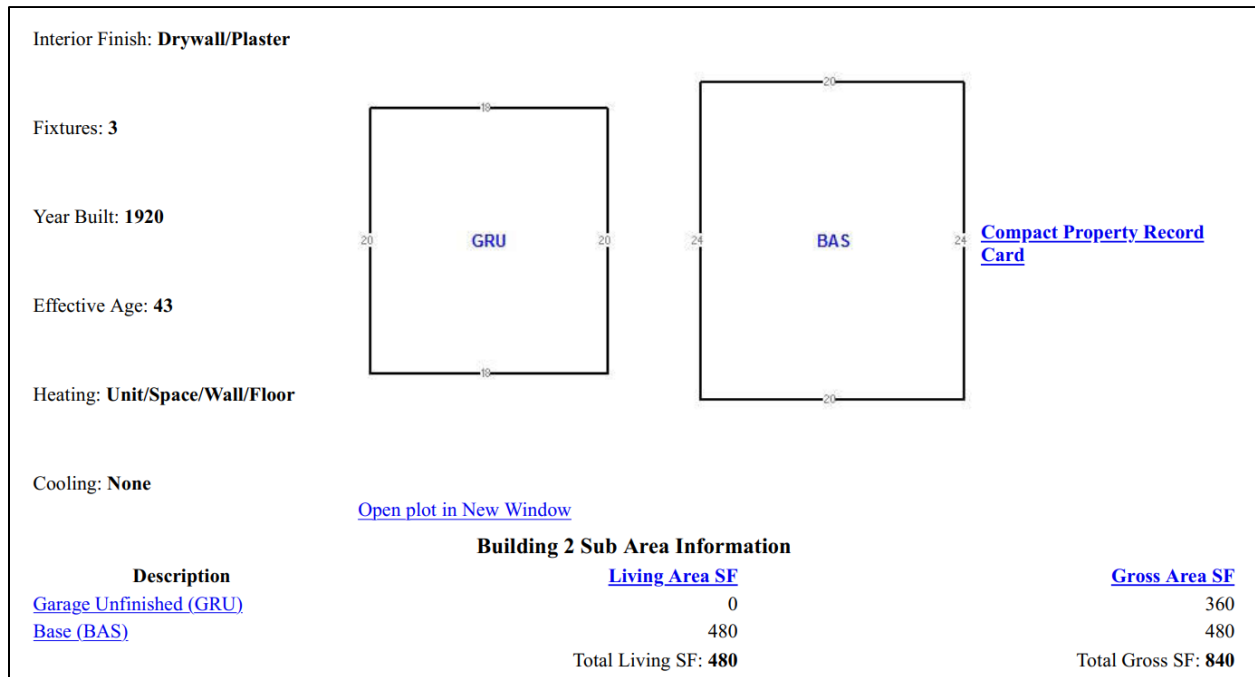


Figure 2: Size of historic structure per Pinellas County Property Appraiser

The new unit would be clad in 1 x 6 Hardie Board lap siding and feature a shingled, front-gabled roof. Proposed windows are three-over-one and four-over-one, as were those recently approved by this Commission for installation at the primary residence.

The proposed new construction will fairly closely reference the historic garage apartment that was present at the subject property until earlier in 2021. Like the proposed new construction, the historic building was two stories in height with a two-car garage below and living space at the second story. It also featured a front-gabled roof, lap siding, and sash windows, often arranged in pairs. The new construction will be sited slightly to the east of the original location to comply with contemporary setback requirements.



Figure 3: Historic garage apartment at approximate site of new construction prior to fire damage necessitating demolition

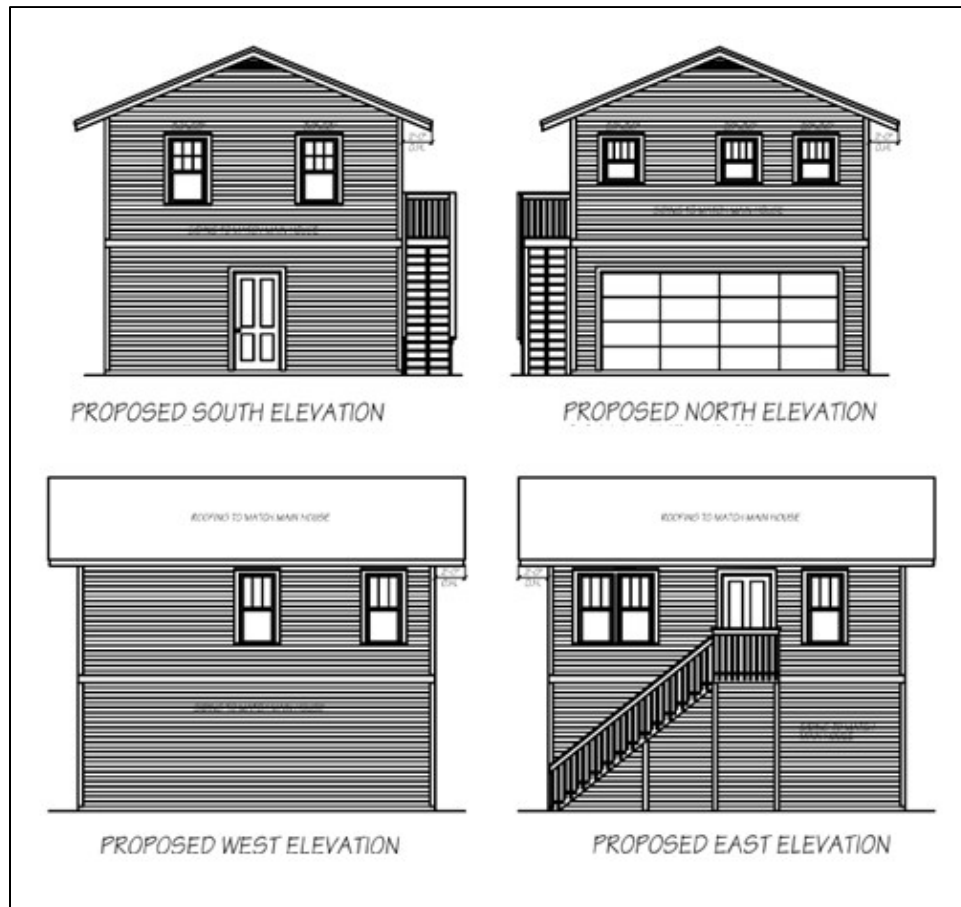


Figure 4: Elevation drawings from application. South elevation would face the rear elevation of the primary residence; north elevation would be alley-facing.

General Criteria for Granting Certificates of Appropriateness and Staff Findings

1. *The effect of the proposed work on the landmark or the property upon which such work is to be done.*

Consistent Because of the placement at the rear of the subject property and similarity of the scale of the proposed structure to the building that predated it, there will be minimal impact to the local historic district.

2. *The relationship between such work and other structures on the landmark site or other property in the historic district.*

Consistent The proposed new construction will approximately replicate the scale of the historic garage apartment in its location.

3. *The extent to which the historic, architectural, or archaeological significance, architectural style, design, arrangement, texture and materials of the local landmark or the property will be affected.*

Consistent The historic rhythm of the subject district will be retained by rebuilding a similar accessory structure to the one that was damaged earlier this year.

4. *Whether the denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property.*

**Information
not provided**

5. *Whether the plans may be reasonably carried out by the applicant.*

Consistent There is no indication that the applicant cannot carry out the proposal.

6. *A COA for a noncontributing structure in a historic district shall be reviewed to determine whether the proposed work would negatively impact a contributing structure or the historic integrity of the district. Approval of a COA shall include any conditions necessary to mitigate or eliminate negative impacts.*

**Not
applicable** The subject property is listed as a contributing property.

Additional Guidelines for New Construction

In approving or denying applications for a COA for new construction (which includes additions to an existing structure), the Commission and the POD shall also use the following additional guidelines.

1. *The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.*

Consistent The proposed new construction largely replicates the height and footprint of the historic garage apartment. It is a relatively common building type for the area.

2. *The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.*

Consistent The detached two-car garage with living space above is a common building type for the historic era in St. Petersburg. The size and scale is consistent both with the historic building at the site and with the subject district.

3. *The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.*

Consistent The new windows will closely match the windows at the primary residence in size, shape, and configuration.

Staff did note the depiction of six-over-one windows at the south elevation but three- and four-over-one units elsewhere on the building. Staff recommends the use of three- and four-over-one (Craftsman style) windows be used throughout the new construction to create consistency with the primary residence.

4. *The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.*

Consistent The fairly utilitarian form of the proposed building is typical to the area.

5. *The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.*

Consistent The proposed new construction will be placed east of the historic garage apartment's site to comply with contemporary setback requirements. Nonetheless, it will still be placed behind the primary residence on the subject property and read as an accessory building.

6. *The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.*

Consistent Exterior staircases to upper-level dwelling units are common to garage apartments in the area.

7. *The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.*

Generally consistent The proposed new construction will employ Hardie plank siding and vinyl windows, which are not traditional materials. However, they do visually mimic the historic wood materials that were traditionally used. Staff considers this an appropriate treatment for new construction of an accessory building.

8. *The roof shape of the new construction shall be visually compatible with contributing resources in the district.*

Consistent The proposed front-gabled roof will face the alley to the north of the subject property. This is a common roof type for garage apartments.

9. *Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.*

Consistent The new construction will face the alley, where garage doors abutting the rear property line are common.

10. *The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.*

Consistent Fenestration is typically more irregular at historic accessory buildings than their corresponding primary residences. Staff finds the proposed pattern of openings to be consistent with historic patterns observed.

11. *The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.*

Consistent

12. *New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.*

Consistent

13. *New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.*

Consistent The proposed new construction could be removed without altering the primary residence.

Summary of Findings, Certificate of Appropriateness Review

Staff evaluation yields a finding of the following criteria being met by the proposed project:

- General Criteria for Granting Certificates of Appropriateness: 4 of 4 relevant criteria satisfied.
- Additional Guidelines for New Construction: 13 of 13 criteria satisfied or generally satisfied.

Staff Recommendation

Based on a determination of general consistency with Chapter 16, City Code of Ordinances, staff recommends that the Community Planning and Preservation Commission **approve with conditions** the Certificate of Appropriateness request for the alteration of the property at 217 10th Ave. NE., a contributing property to the North Shore Section – 200 Block of 10th Ave. NE Historic District, subject to the following:

1. Windows at the new construction will be installed to be setback within the wall plane and feature a reveal of at approximately two to three inches to provide consistency with the historic windows at subject property.
2. Proposed windows will replicate traditional design and configuration and feature contoured, exterior three-dimensional muntins. Windows will consistently feature a Craftsman style grid (three- and four-over-one).
3. All other necessary permits shall be obtained. Any additional work shall be presented to staff for determination of the necessity of additional COA approval.
4. This approval will be valid for 24 months following Commission approval, for an expiration date of October 12, 2023.

Appendix A:

Building Official Order to Demolish

Laura Duvekot

From: Donald L. Tyre
Sent: Thursday, September 9, 2021 12:24 PM
To: Derek Kilborn
Cc: Laura Duvekot; Maureen F. Burke
Subject: RE: Confirmation: 217 10th Avenue NE, 21-08002052

Yes, I ordered the demolition and agree with the engineer's report indicating that the building is structural unsafe and is a life safety hazard. Maureen has the exact statement in the order.

Donald Tyre
Building Official
City of St. Petersburg
Planning and Development Services
727-893-4153
Donald.tyre@stpete.org

From: Derek Kilborn <Derek.Kilborn@stpete.org>
Sent: Thursday, September 9, 2021 12:18 PM
To: Donald L. Tyre <Donald.Tyre@stpete.org>
Cc: Laura Duvekot <Laura.Duvekot@stpete.org>
Subject: Confirmation: 217 10th Avenue NE, 21-08002052

Don:

Good afternoon. Laura Duvekot noted that she's received a demolition request (accessory building) for 217 10th Avenue NE, permit no. 21-08002052. The permit file includes a note about condemnation, but I am writing to confirm that this note is consistent with the following statement from the City's historic preservation section of the City Code:

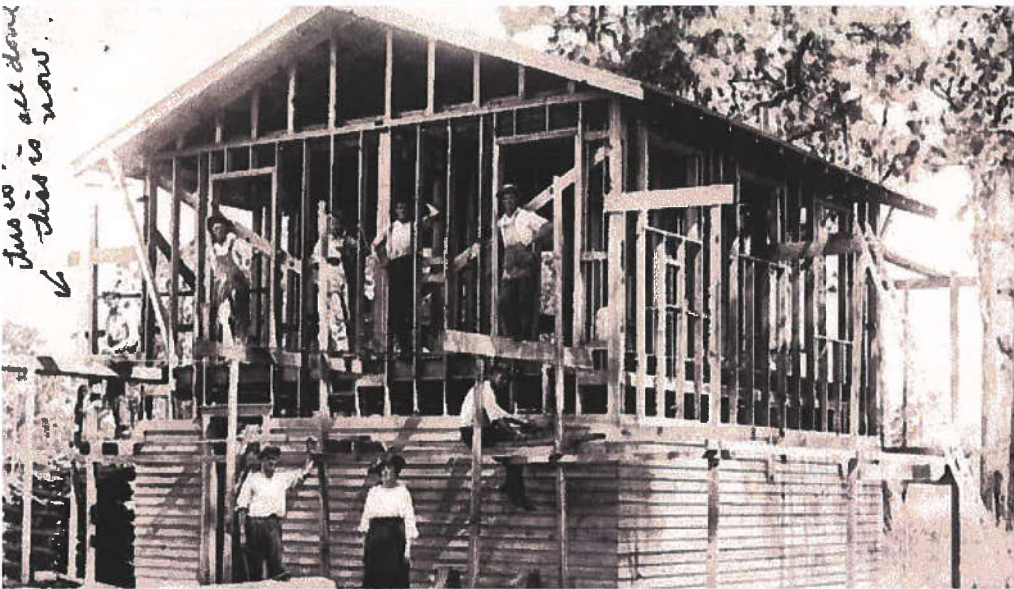
"M. Emergency conditions; designated properties. In any case where the Building Official determines that there are emergency conditions dangerous to life, health or property affecting a local landmark or a property in a historic district, the Building Official may order the remedying of these conditions (including demolition) without the approval of the Commission or issuance of a required COA. The POD shall promptly notify the Commission of the action being taken."

An email is sufficient, but we were hoping for a clear statement of compliance/consistency with the above code section. Thank you.

Respectfully,
Derek Kilborn, Manager
Urban Planning and Historic Preservation Division
Planning and Development Services Department
One 4th Street North
Derek.kilborn@stpete.org
(727) 893-7872

Appendix B:

Application No. 21-90200115



CITY OF ST. PETERSBURG, FLORIDA

CERTIFICATE OF APPROPRIATENESS APPLICATION PACKET

stpete.org/history

Urban Planning and Historic Preservation Division
Planning and Development Services Department
City of St. Petersburg
Municipal Services Center
One Fourth Street North, 8th Floor
St. Petersburg, Florida 33701



CITY OF ST. PETERSBURG
 AUG 25 2021
 PLANNING & DEVELOPMENT SERVICES

CERTIFICATE OF APPROPRIATENESS

APPLICATION

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department, located on the 8th floor of the Municipal Services Building, One Fourth Street North, St. Petersburg, Florida. Laura Duvekot, Historic Preservationist II, (727) 892-5451 or Laura.Duvekot@stpete.org

GENERAL INFORMATION

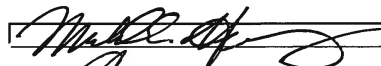
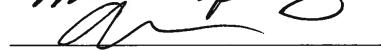
217 1/2 10 Ave NE Property Address	18-31-17-05274-008-0090 Parcel Identification No.
Old North East Historic District / Landmark Name	N/A Corresponding Permit Nos.
Michael and Mary Ellen Hussey Owner's Name	860-999-4381 Property Owner's Daytime Phone No.
855 Central Ave #310 Owner's Address, City, State, Zip Code	garfield47@yahoo.com Owner's Email
St Petersburg, FL. 33701 Authorized Representative (Name & Title), if applicable	727-459-7518 Representative's Daytime Phone No.
Andrej Klobucar, contractor Konstrukt Builders, Inc. Representative's Address, City, State, Zip Code	konstruktbuilders@gmail.com Representative's Email

APPLICATION TYPE (Check applicable)		TYPE OF WORK (Check applicable)	
<input type="checkbox"/>	Addition	<input checked="" type="checkbox"/>	Window Replacement
<input checked="" type="checkbox"/>	New Construction	<input checked="" type="checkbox"/>	Door Replacement
<input type="checkbox"/>	Demolition	<input checked="" type="checkbox"/>	Roof Replacement
<input type="checkbox"/>	Relocation	<input checked="" type="checkbox"/>	Mechanical (e.g. solar)
<input type="checkbox"/>	Other:	<input type="checkbox"/>	Repair Only
		<input type="checkbox"/>	In-Kind Replacement
		<input checked="" type="checkbox"/>	New Installation
		<input type="checkbox"/>	Other:

AUTHORIZATION

By signing this application, the applicant affirms that all information contained within this application packet has been read and that the information on this application represents an accurate description of the proposed work. The applicant certifies that the project described in this application, as detailed by the plans and specifications enclosed, will be constructed in exact accordance with aforesaid plans and specifications. Further, the applicant agrees to conform to all conditions of approval. It is understood that approval of this application by the Community Planning and Preservation Commission in no way constitutes approval of a building permit or other required City permit approvals. Filing an application does not guarantee approval.

- NOTES: 1) It is incumbent upon the applicant to submit correct information. Any misleading, deceptive, incomplete or incorrect information may invalidate your approval.
 2) To accept an agent's signature, a notarized letter of authorization from the property owner must accompany the application.

Signature of Owner:  Date: 8/20/21
 Signature of Representative:  Date: 8/20/21



CERTIFICATE OF APPROPRIATENESS

APPLICATION

COA #

All applications are to be filled out completely and correctly. The application shall be submitted to the City of St. Petersburg's Planning and Development Services Department by emailing directly to Historic Preservationists Laura Duvekot (Laura.Duvekot@stpete.org) or Kelly Perkins (Kelly.Perkins@stpete.org).

PROPOSED SCOPE OF WORK

Please provide a detailed description of the proposed work, organized according to the COA Matrix. Include information such as materials, location, square footage, etc. as applicable. Attach supplementary material as needed.

Building or Site Feature	Photo No.	Proposed Work
2 story garage apartment		Repalce fire damaged existing 2 story garage apartment with a new 2 story garage apartment.
new windows and doors		approved by COA committee 21-90200045
Exterior cladding		All Exterior cladding will be 1x6 Hardie board lap siding
Roof		Shingle roof to match exiting main house
Set backs		move footprint 4' to east and 2' south
Additional permits/COA approvals		Main house remodel,21-06001787. Pool 21-06000066, COA approvals 21-90200045,21-90400004



CERTIFICATE OF APPROPRIATENESS

GENERAL INFORMATION

Purpose

The Historic and Archaeological Preservation Overlay, City Code Section 16.30.070, requires issuance of a Certificate of Appropriateness (COA) prior to any exterior alteration to a locally designated landmark or property within a locally designated historic district. Exterior alterations include, but are not limited to, the following work: changes to walls, roof, or windows; painting unpainted masonry; additions; relocation, and demolition. Building new structures and demolition requests within a historic district, as well as any digging or replacement of plantings on a designated archaeological site also require a COA. The intent of the COA is to ensure that the integrity and character of the individual landmark or historic district is maintained.

Pre-Application Meeting

Applicants are encouraged to schedule a pre-application meeting with Staff prior to an application being accepted. Staff requests that all pre-application meetings be scheduled at least one (1) week prior to the application deadline. Minor maintenance projects can often be approved at this meeting. Pre-application meetings can be scheduled by calling (727) 892-5470 or (727) 892-5451.

At the meeting, staff will determine if the application is appropriate for administrative approval based upon the COA Approval Matrix as per the regulations in the Historic and Archaeological Preservation Overlay. Administrative approvals do not require a public hearing, unless an appeal is filed with the Urban Planning and Historic Preservation Division. Permits must be obtained within 18 months of approval. Staff shall have the discretion to refer any case to the Community Planning and Preservation Commission ("CPPC").

Application Submittal

Only complete applications will be accepted. Complete applications must be filed by 2:00 PM on the application deadline date. Per the CPPC's Rules of Procedure, a maximum of twelve (12) applications may be scheduled for any given public hearing. This limit does not apply to applications which are determined by the Urban Planning and Historic Preservation Division to be appropriate for administrative approval. Applications requiring a public hearing are scheduled in the order received.

Fee Schedule

Commission Review		Staff Review	
Additions	\$ 300.00	General Application	\$ 50.00
Appeal	\$ 250.00	Appeal	\$ 250.00
Alterations and Repair	\$ 300.00		
Demolition (primary building)	\$ 1,000.00		
Demolition (accessory structure)	\$ 500.00		
New Construction	\$ 300.00		
Relocation	\$ 500.00		

After-the-Fact – Twice the initial fee; Revision of previously approved COA - ½ of the original fee

Site Plans, Floor Plans, and Elevation Drawings

All applications for the CPPC require a detailed, accurate site plan or survey and elevation drawings. Some applications for the CPPC require floor plans as well. Staff strongly encourages applicants to retain the services of a design professional to prepare the required plans. The City is unable to accept site plans, floor plans, or elevations that are incomplete, illegible, unclear, or do not meet the criteria listed on the "List of Required Submittals." Such determinations are made at the discretion of the City.



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, NEW CONSTRUCTION

- Completed COA application
- Application fee - \$300.00
- Site plan or survey of the subject property:
 - To scale, no larger than 11" x 17" paper or digitally submitted
 - North arrow
 - Setbacks of structures to the property lines
 - Dimensions, locations of all property lines, structures, parking spaces
- Floor Plans and Elevations:
 - To scale, no larger than 11" x 17" paper or digitally submitted
 - Depicts all sides of existing & proposed structure(s)
- Photographs of the subject property
- Written description explaining how the proposed work complies with the following evaluation criteria:
 1. The height and scale of the proposed new construction shall be visually compatible with contributing resources in the district.
 2. The relationship of the width of the new construction to the height of the front elevation shall be visually compatible with contributing resources in the district.
 3. The relationship of the width of the windows to the height of the windows in the new construction shall be visually compatible with contributing resources in the district.
 4. The relationship of solids and voids (which is the pattern or rhythm created by wall recesses, projections, and openings) in the front facade of a building shall be visually compatible with contributing resources in the district.
 5. The relationship of the new construction to open space between it and adjoining buildings shall be visually compatible with contributing resources in the district.
 6. The relationship of the entrance and porch projections, and balconies to sidewalks of the new construction shall be visually compatible with contributing resources in the district.
 7. The relationship of the materials and texture of the facade of the new construction shall be visually compatible with the predominant materials used in contributing resources in the district.
 8. The roof shape of the new construction shall be visually compatible with contributing resources in the district.
 9. Appurtenances of the new construction such as walls, gates and fences, vegetation and landscape features, shall, if necessary, form cohesive walls of enclosures along a street, to ensure visual compatibility of the new construction with contributing resources in the district.

(continued next page)



CERTIFICATE OF APPROPRIATENESS

CHECKLIST, NEW CONSTRUCTION

8. The mass of the new construction in relation to open spaces, the windows, door openings, porches and balconies shall be visually compatible with contributing resources in the district.
9. The new construction shall be visually compatible with contributing resources in the district in its orientation, flow, and directional character, whether this is the vertical, horizontal, or static character.
10. New construction shall not destroy historic materials that characterize the local landmark or contributing property to a local landmark district. The new construction shall be differentiated from the old and shall be compatible with the massing, size, scale, and architectural features to protect the historic integrity of the local landmark and its environment, or the local landmark district.
11. New construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the local landmark and its environment would be unimpaired.

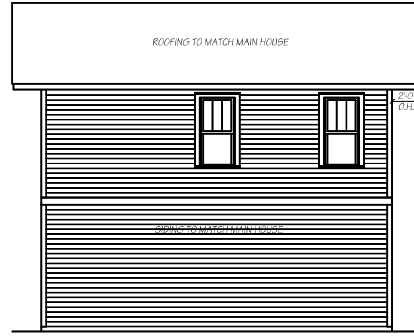
THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF BAKER STREET DESIGNS AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE DESIGNER. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.



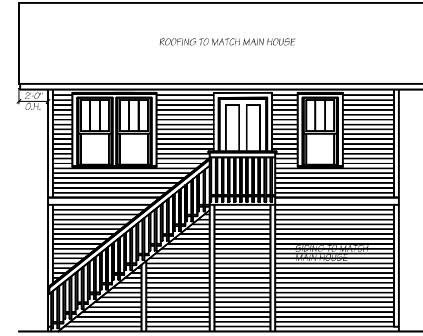
PROPOSED SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



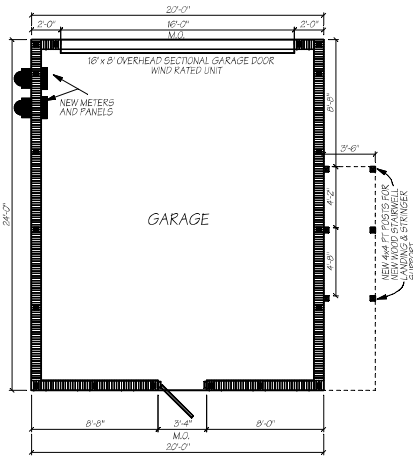
PROPOSED NORTH ELEVATION
SCALE: 1/4" = 1'-0"



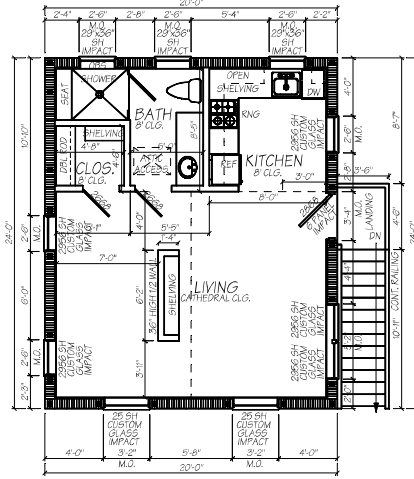
PROPOSED WEST ELEVATION
SCALE: 1/4" = 1'-0"



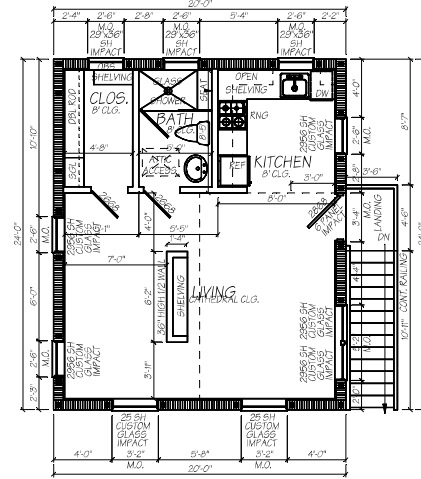
PROPOSED EAST ELEVATION
SCALE: 1/4" = 1'-0"



PROPOSED 1ST LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"



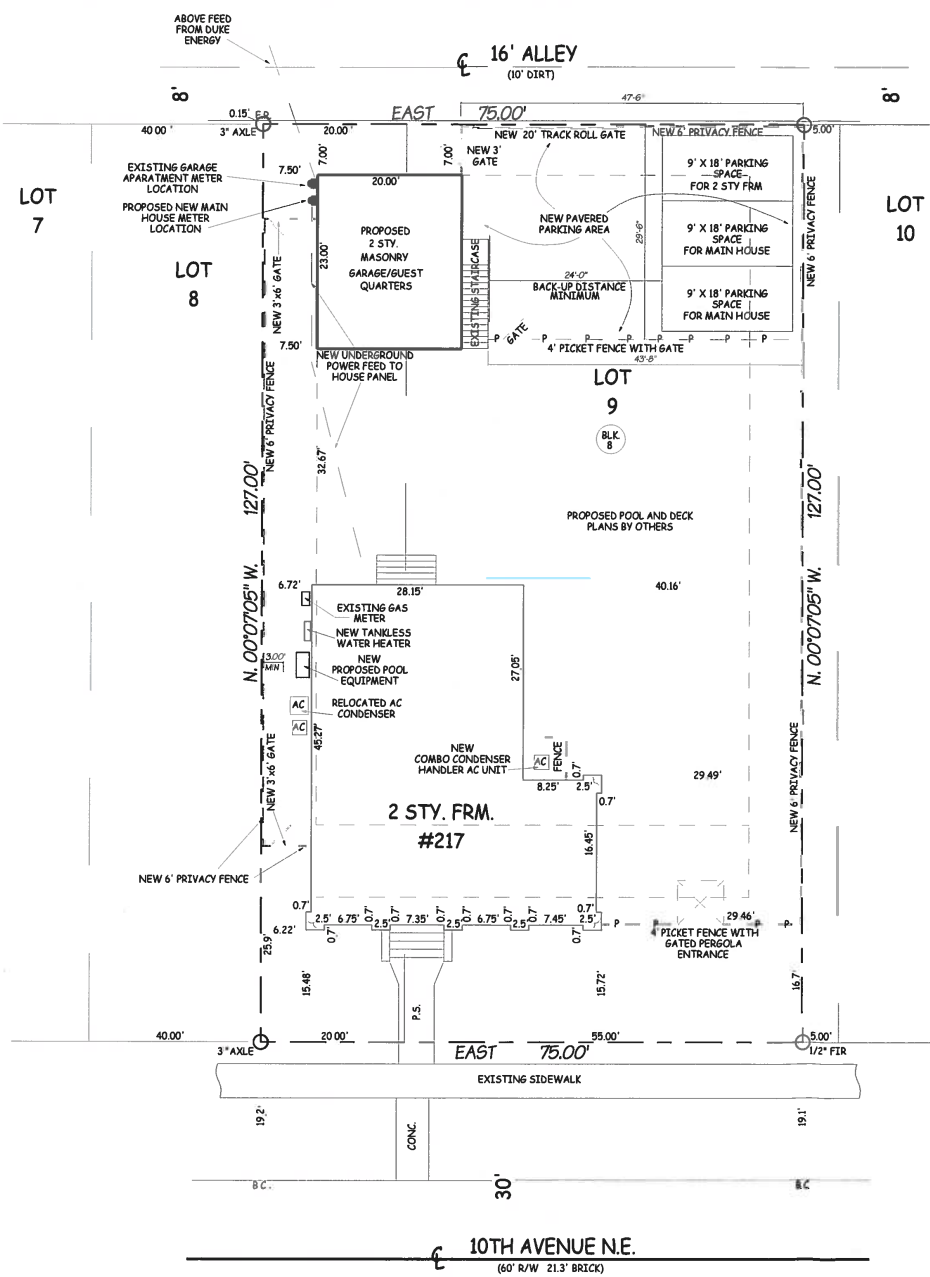
PROPOSED 2ND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
VERSION "A"



PROPOSED 2ND LEVEL FLOOR PLAN
SCALE: 1/4" = 1'-0"
VERSION "B"

Dara Thomas, PE, LLC
118 Laurel Tree Way
Brandon, FL 33511
(727) 455-1156
Registered Professional
Engineer # 40250
FL Cert. # Auth.
Number 3957

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NORTH
(ASSUMED)



LEGAL DESCRIPTION

A BOUNDARY SURVEY OF: The East 20.00 feet of Lot 8 and the West 55.00 feet of Lot 9, Block 8, SNELL & HAMLETT'S BAYVIEW ADDITION, as recorded in Plat Book 6, Page 11 of the Public Records of Hillsborough County, Florida, of which Pinellas County was formerly a part.

ZONING: NT-3

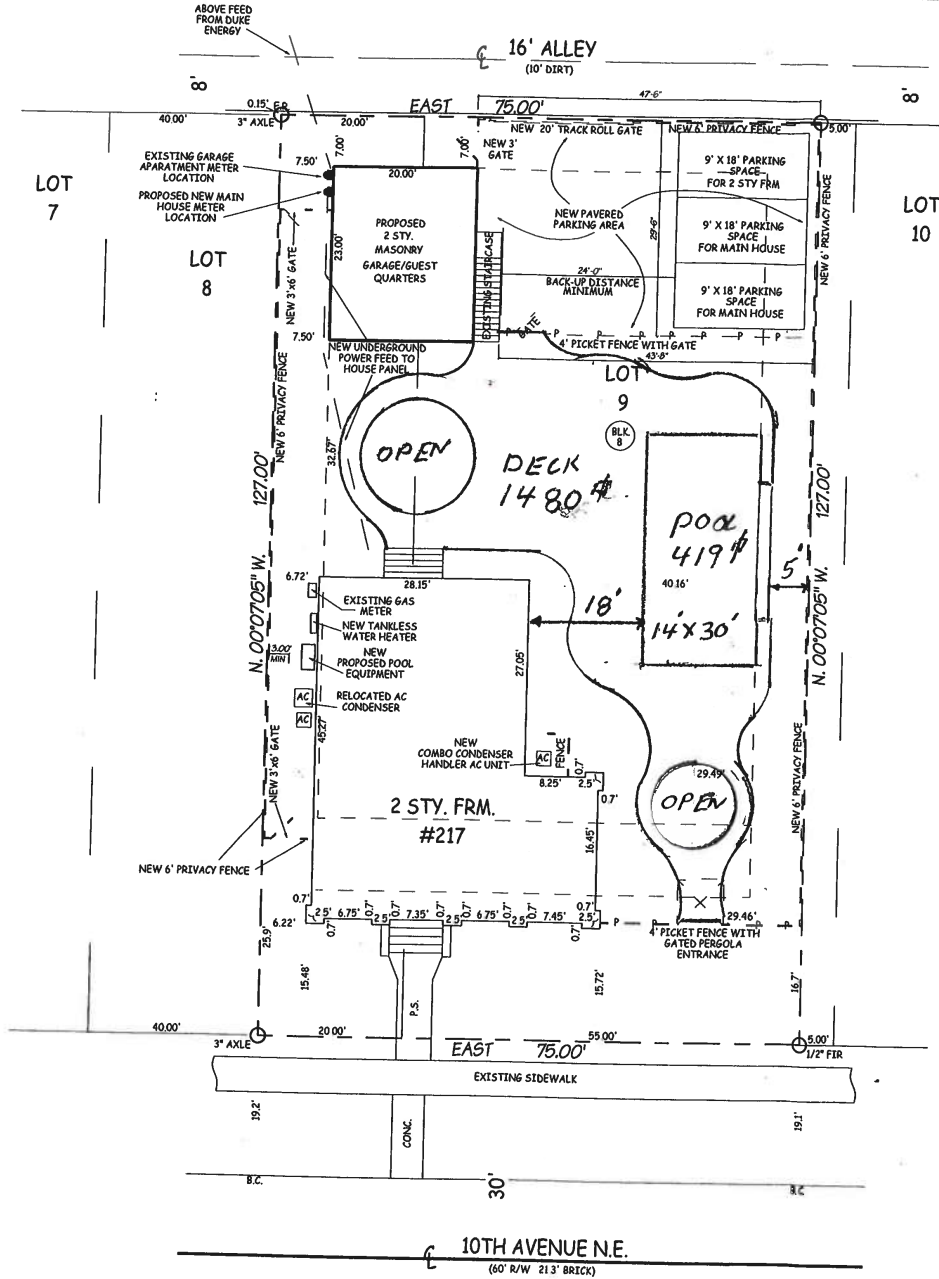
FLOOD ZONE: X

SITE PLAN
SCALE: 1/8" = 1'-0"

CITY OF ST. PETERSBURG
AUG 20 2021
CONSTRUCTION SRVS.

A	B	D	I	Baker Street Designs 14227 Puffin Court Clearwater, Florida 33762 (727) 656-5216	Hussy Garage 217 - 10th Avenue N.E. St. Petersburg, Florida	KONSTRUCT BUILDERS, INC (727) 450-7518 855 - 37th Ave. N., St. Petersburg, FL	SCALE 1/8" = 1'-0"	PAGE #
							DATE 07/17/2021	REV.

THESE DESIGNS AND DRAWINGS ARE THE COPYRIGHTED PROPERTY OF BAKER STREET DESIGNS AND MAY NOT BE REPRODUCED EXCEPT WITH SPECIFIC WRITTEN CONSENT OF THE DESIGNER. THE CONTRACTOR MUST CHECK AND VERIFY ALL DIMENSIONS OF THE JOB AND BE RESPONSIBLE FOR SAME. REPORTING ANY DISCREPANCIES TO THE DESIGNER BEFORE COMMENCING WORK.



NORTH (ASSUMED)



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ZONING: NT-3

FLOOD ZONE: X

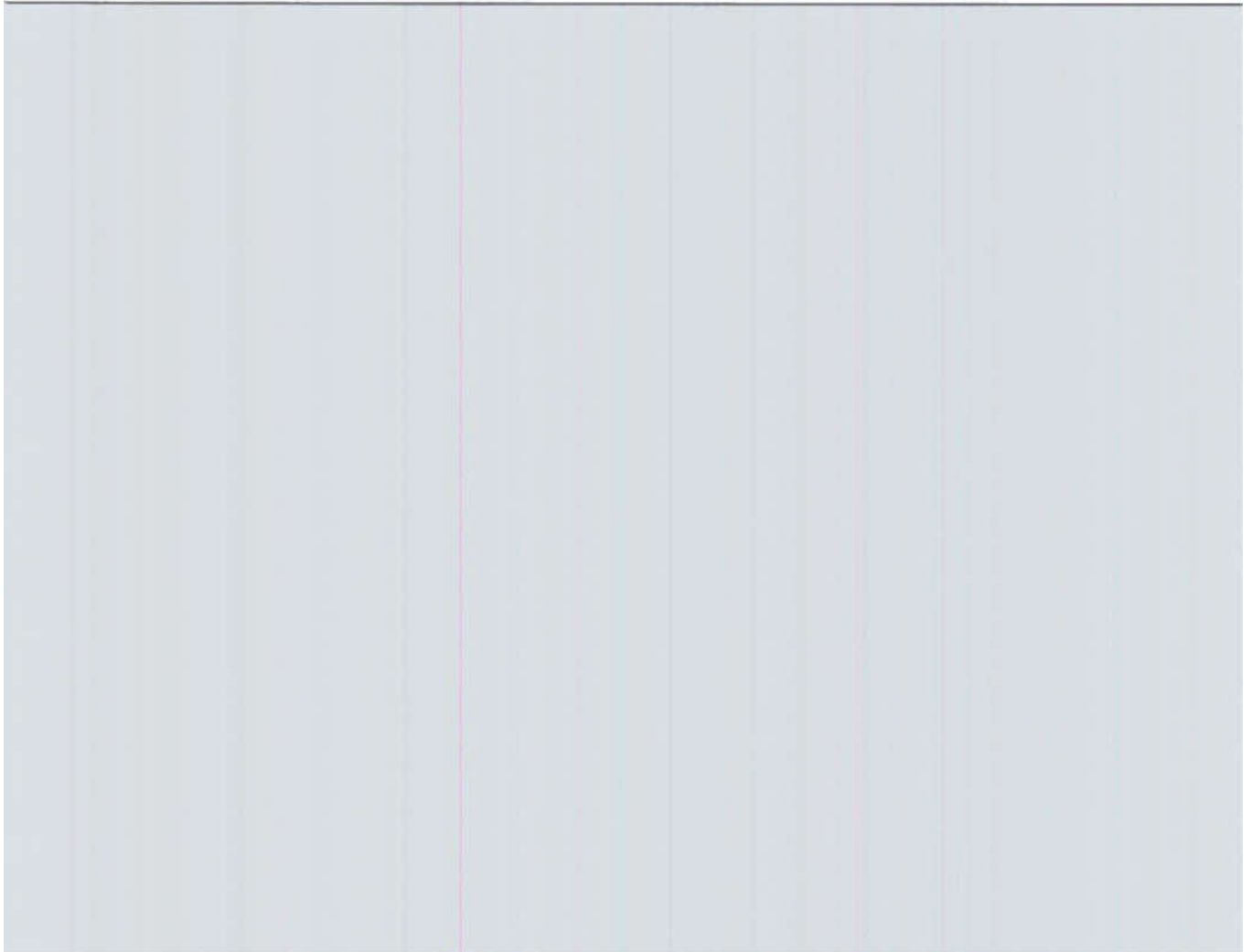
**SITE PLAN
SCALE: 1/8" = 1'-0"**

CITY OF ST. PETERSBURG
AUG 20 2021
CONSTRUCTION SRVS

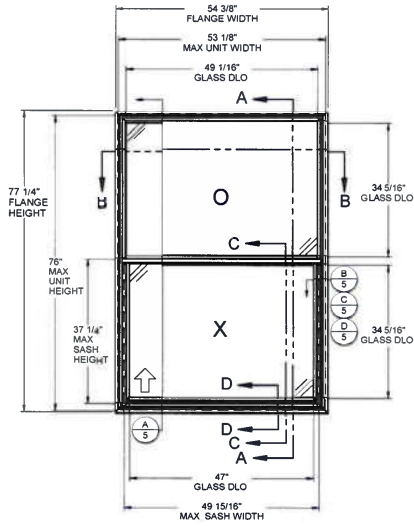
A I	Baker Street Designs	Hussy Garage	217 - 10th Avenue N.E. St. Petersburg, Florida	© 2021 BAKER STREET DESIGNS	SCALE: 1/8" = 1'-0"	PAGE #
				KONSTRUCT BUILDERS, INC	DATE: 07/17/2021	REV.
B D	14227 Puffin Court Clearwater, Florida 33762	(727) 666-5216	St. Petersburg, Florida	(727) 450-7518	LOT #	1
				855 - 37th Ave. N., St. Petersburg, FL	LOT #	1

Appendix C:

Windows and Doors Approved for Primary Residence with
Application 21-90200045



SINGLE HUNG - LARGE MISSILE IMPACT
(SHOWN w/DIFFERENT OPTIONS)



GENERAL NOTES:

1. THE PRODUCT SHOWN HEREIN IS DESIGNED AND MANUFACTURED TO COMPLY WITH THE FLORIDA BUILDING CODE (FBC), CURRENT EDITION AND IS RATED FOR MISSILE LEVEL D IMPACT USE IN WIND ZONE 3 AREAS AS DEFINED IN ASTM E 1996 PER THE FBC. THIS PRODUCT MAY NOT BE USED IN THE HIGH VELOCITY HURRICANE ZONE (HVHZ) OR IN ASTM E 1996 WIND ZONE 4 AREAS.
2. GLAZING OPTIONS (SEE SHEET 2)
3. CONFIGURATIONS "O/X"
4. DESIGN PRESSURE RATING
-NEGATIVE DESIGN LOADS BASED ON, TESTED PRESSURE AND GLASS TABLES ASTM E-1300-04e01/09
-POSITIVE DESIGN LOADS BASED ON, TESTED PRESSURE, WATER INFILTRATION TEST PRESSURE AND GLASS TABLES ASTM E-1300-04e01/09.
5. ANCHORAGE: THE 33 1/3% STRESS INCREASE HAS NOT BEEN USED IN THE DESIGN OF THIS PRODUCT. SEE SHEET 5 FOR ANCHOR DETAILS. WINDLOAD DURATION FACTOR $C_d=1.6$ WAS USED FOR WOOD ANCHOR CALCULATIONS.
6. PRODUCT APPROVED FOR IMPACT RESISTANCE. SHUTTERS ARE NOT REQUIRED.
7. ALL FRAMES AND VENTS FULLY WELDED. SMALL JOINT SEAM SEALANT USED AT FIXED MEETING RAIL AND JAMB.
8. SERIES / MODEL DESIGNATION SH-6100.
9. THE DESIGNATION X AND O STAND FOR THE FOLLOWING:
X = OPERABLE SASH O = FIXED SASH
10. SECTION CALLOUTS APPLY TO ALL ELEVATIONS IN A SIMILAR LOCATION.
11. EXTERNAL WEAP SLOTT = 1/4 x 1-1/2" LOCATED 5" FROM BOTH ENDS.



6100 PVC SINGLE HUNG IMPACT

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Lucas Turner
2020.07.27
11:24:38
-05'00'

7/23/2020

LUCAS A. TURNER, P.E.
FL PE # 58201
2428 Old Natchez Trc Trl
Camden, TN 38320
PH: 941-380-1574

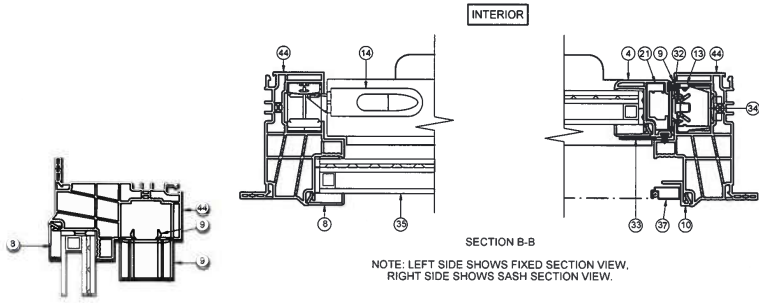
TABLE OF CONTENTS

- GENERAL NOTES & ELEVATIONS 1
- SECTION VIEWS & GLAZING 2
- EXTRUSIONS & S.O.M. 3
- ANCHOR SCHEDULE & NOTES 4
- INSTALLATION DETAIL 5

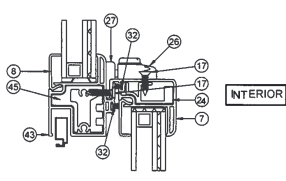
MAX. UNIT SIZE	DESIGN PRESSURE RATING	IMPACT RATING
53-1/8" x 76"	+/- 50 PSF	LARGE MISSILE IMPACT

SHEET DESCRIPTION
GENERAL NOTES AND ELEVATIONS

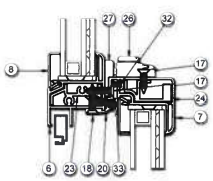
DRAWN BY:	DATE:
EMK	05/26/15
CHKD BY:	REV:
CWS-1068	D
SCALE:	SHEET
1:20	1 OF 5



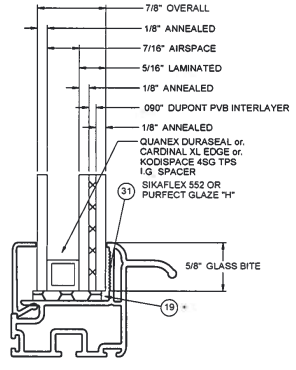
NOTE: LEFT SIDE SHOWS FIXED SECTION VIEW.
RIGHT SIDE SHOWS SASH SECTION VIEW.



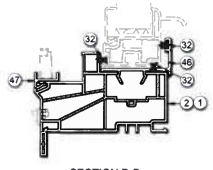
SECTION A-A



SECTION C-C
ALT MTG RAIL
AND SLOPE SILL



GLASS TYPE A
1:1
SETTING BLOCKS PER FBC 2411.3.3.1



SECTION D-D
ALT 562 POCKET UNI-FRAME

NOTES:
- FIN FRAME AVAILABLE FOR BOTH UNI-FRAME AND STANDARD FRAME TYPES.
- 880 BALANCERS AND DEEP POCKET UNI-FRAME (H-6193) REQUIRED FOR LARGER SASHES.

NOTE: ITEMS NOT SHOWN FOR CLARITY: 38-41

Custom WINDOW SYSTEMS
1900 SW 44TH AVE
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6100 PVC SINGLE HUNG IMPACT

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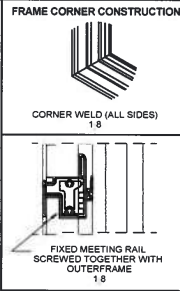
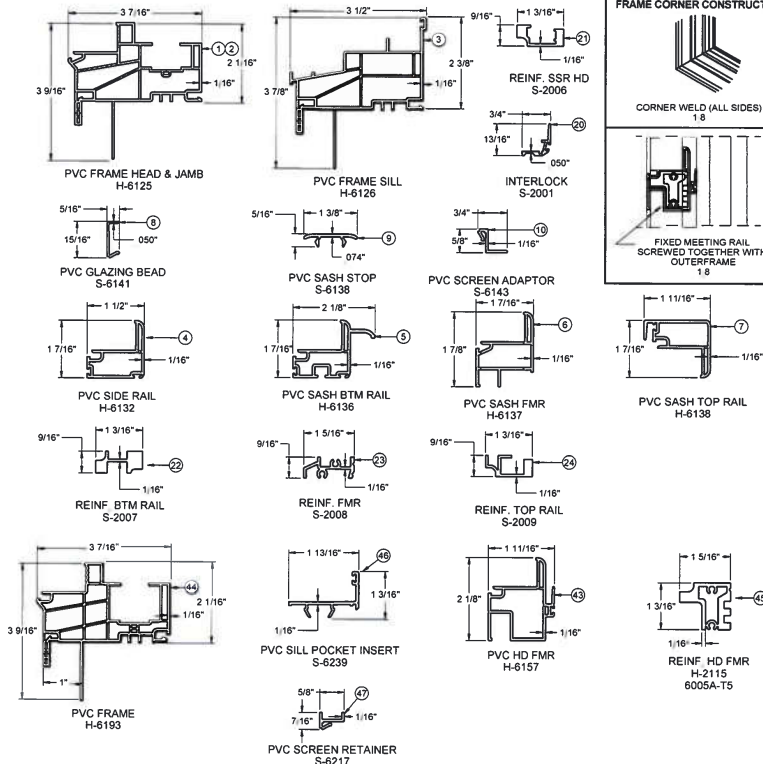
SHEET DESCRIPTION:
SECTION VIEWS AND GLAZING DETAIL

DRAWN BY	DATE
EMK	05/26/15
DWG #	REV
CWS-1068	D
SCALE	SHEET
1:2	2 OF 5

ITEM	PART	DESCRIPTION	MATERIAL
1	H-6125	HEAD, OUTERFRAME	PVC
2	H-6125	JAMBS, OUTERFRAME	PVC
3	H-6126	SILL, OUTERFRAME	PVC
4	H-6132	SASH SIDE RAIL	PVC
5	H-6136	SASH BOTTOM RAIL	PVC
6	H-6137	FIXED MEETING RAIL	PVC
7	H-6138	SASH TOP RAIL	PVC
8	S-6141	GLAZING BEAD	PVC
9	S-6142	SASH STOP	PVC
10	S-6143	SCREEN ADAPTOR	PVC
11	P-5085	WSTP, GLON BULB VINYL	
12	P-5471	WSTP, GLON BULB VINYL	
13		BALANCERS, CONSTANT FORCE RT 880	
14	P-5392	SASH TILT LATCH	NYLON
16	P-5396	PIVOT BAR	SS
17	P-3515	HB X 5/8 PHIL FLAT WHITE SMS	STEEL
18	P-4146	HB X 3/4 PHIL FLAT tek	STEEL
19	P-5615	SETTING BLOCK	RUBBER
20	S-2001	INTERLOCK RAIL	ALUM
21	S-2006	REINF. SASH SIDE RAIL, HD	ALUM
22	S-2007	REINF. BOTTOM RAIL	ALUM
23	S-2008	REINF. FMR	ALUM
24	S-2009	REINF. TOP RAIL	ALUM
26	P-3783	IMPACT LOCKS	NYLON
27	P-3784	IMPACT KEEPERS	NYLON
28	P-5420	WEEP COVER	NYLON
31		SIKA FLEX 552 OR PURFECT GLAZE "H"	SILICONE
32	P-3305	WSTP, 270 X 187, SOFT TOUCH FIN	
34	P-5588	SOLE PLUG	NYLON
35		GLASS SEE SHEET 2	
36	P-4638	HB X 2 1/2 PHIL TRUSS tek	STEEL
37	P-3218	SCREEN FRAME	ALUM
38	P-4754	SCREEN CORNER KEY	NYLON
39	P-3228	SCREEN SPLINE	
40	P-3029	SCREEN LISTS	
41	P-3033	SCREEN SPRINGS	
43	H-6157	HD FIXED MEETING RAIL	PVC
44	H-6193	UNI-FRAME, 880 BALANCERS	PVC
45	H-2115	REINF. HD FMR	ALUM
46	S-6216	UNI-FRAME SILL POCKET INSERT	PVC
47	S-6217	UNI-FRAME SCREEN RETAINER	PVC

LINE ITEMS NOT USED:
15, 25, 29-30

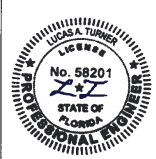
NOTE: ALL EXTRUSIONS ARE ALUM. 6063-T6 UNLESS OTHERWISE NOTED.



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6100 PVC SINGLE HUNG IMPACT

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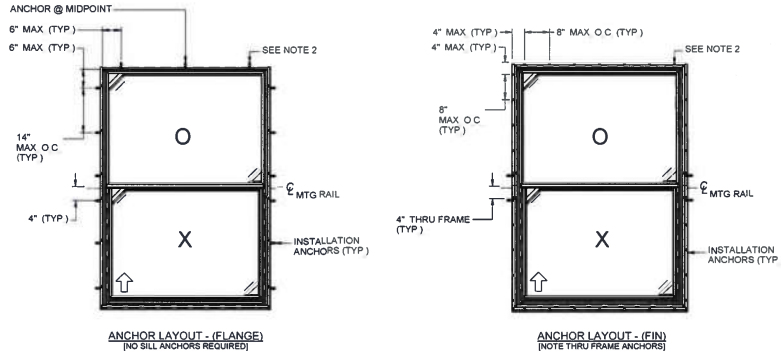


7/23/2020

LUCAS A. TURNER, P.E.
FL PE # 58201
2428 Old Natchez Trc Trl
Camden, TN 38320
PH. 941-380-1574

SHEET DESCRIPTION

BOM AND EXTRUSIONS	
DRAWN BY: EMK	DATE: 05/26/15
DWG # CWS-1068	REV: D
SCALE: 1.2	SHEET: 3 OF 5



NOTES:

1. INSTALL ONE ANCHOR AT EACH INSTALLATION LOCATION.
2. SHIM AS REQ AT EACH INSTALLATION ANCHOR USING LOAD BEARING SHIMS. MAX. ALLOWABLE SHIM STACK TO BE 1/4". USE SHIMS WHERE SPACE GREATER THAN 1/16" IS PRESENT. LOAD BEARING SHIMS SHALL BE CONSTRUCTED OF HIGH DENSITY PLASTIC OR BETTER. WOOD SHIMS ARE NOT ALLOWED.
3. ANCHOR TYPE, SIZE, SPACING AND EMBEDMENT SHALL BE AS SPECIFIED IN THESE DRAWINGS. SEE TABLE 1, SHEET 5
4. ALL INSTALLATION ANCHORS MUST BE MADE OF OR PROTECTED WITH A CORROSION RESISTANT MATERIAL OR COATING. DISSIMILAR METALS OR MATERIALS IN CONTACT WITH PRESSURE TREATED WOOD MUST BE PROTECTED TO PREVENT REACTION.
5. INSTALLATION ANCHORS SHALL BE IN ACCORDANCE WITH ANCHOR MANUFACTURER'S INSTALLATION INSTRUCTIONS, AND ANCHORS SHALL NOT BE USED IN SUBSTRATES WITH STRENGTHS LESS THAN THE MINIMUM SPECIFIED IN TABLE 1, SHEET 5.
6. ANCHOR EMBEDMENT TO SUBSTRATE SHALL BE BEYOND WALL DRESSING OR STUCCO. FOR CONCRETE/CMU OPENINGS, EMBEDMENT SHALL BE BEYOND WOOD BUCKS, IF USED, INTO SUBSTRATE. INSTALLATIONS INTO SOLID CONCRETE OR GROUT-FILLED CMU MAY INCLUDE BUT DO NOT REQUIRE 1X WOOD BUCKS BETWEEN THE PRODUCT AND SUBSTRATE. INSTALLATIONS INTO HOLLOW CMU REQUIRE THE USE OF 1X WOOD BUCKS BETWEEN THE PRODUCT AND SUBSTRATE.
7. A MINIMUM CENTER-TO-CENTER SPACING SHALL BE MAINTAINED BETWEEN ALL FASTENERS: 3-9/16" FOR MASONRY, 1" FOR WOOD AND METAL.
8. WOOD OR MASONRY OPENINGS, BUCKS AND BUCK FASTENERS SHALL BE PROPERLY DESIGNED BY THE ARCHITECT OR ENGINEER OF RECORD AND INSTALLED TO TRANSFER WIND LOADS TO THE STRUCTURE. SUBSTRATES SHALL MEET THE MINIMUM STRENGTH REQUIREMENTS AS SHOWN IN TABLE 1, SHEET 5. CONCRETE AND MASONRY SUBSTRATES MAY NOT BE CRACKED.
9. SEALING AND FLASHING STRATEGIES FOR OVERALL WATER RESISTANCE OF INSTALLATION SHALL BE DONE BY OTHERS FOLLOWING THE CURRENT VERSION OF THE REFERENCE DOCUMENTS (FMA/AMA 100(FIN WINDOWS), FMA/AMA 200(FLANGE WINDOWS), FMA/WDMA 250(BOX WINDOWS), FMA/AMA/WDMA 300(EXTERIOR DOORS).

Custom WINDOW SYSTEMS
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 OCALA, FL, ORDA 34474
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6100 PVC SINGLE HUNG IMPACT

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 FL PE # 58201
 2428 Old Natchez Trc Trl
 Camden, TN 38320
 PH. 941-380-1574

SHEET DESCRIPTION	
ANCHOR SCHEDULE AND NOTES	
DRAWN BY:	DATE:
EMK	05/26/15
DWG #	REV:
CWS-1068	D
SCALE:	SHEET
1:25	4 OF 5

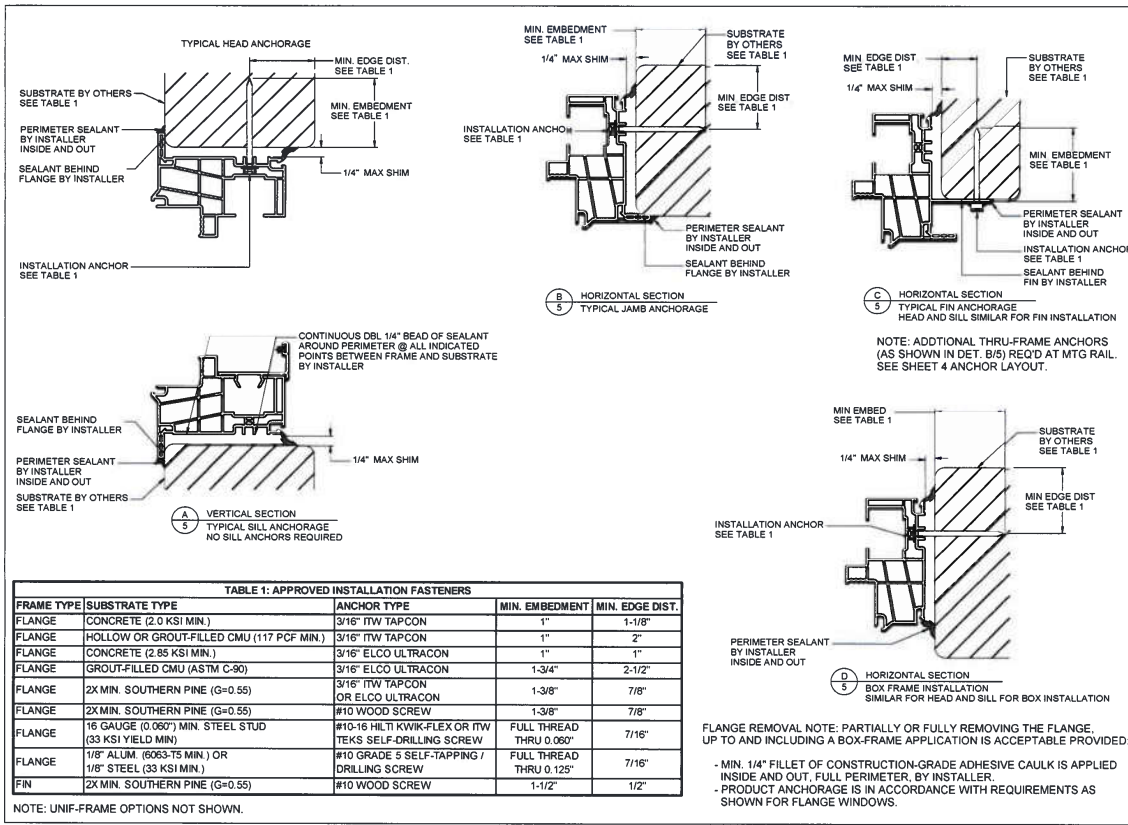


TABLE 1: APPROVED INSTALLATION FASTENERS

FRAME TYPE	SUBSTRATE TYPE	ANCHOR TYPE	MIN. EMBEDMENT	MIN. EDGE DIST.
FLANGE	CONCRETE (2.0 KSI MIN.)	3/16" ITW TAPCON	1"	1-1/8"
FLANGE	HOLLOW OR GROUT-FILLED CMU (117 PCF MIN.)	3/16" ITW TAPCON	1"	2"
FLANGE	CONCRETE (2.85 KSI MIN.)	3/16" ELCO ULTRACON	1"	1"
FLANGE	GROUT-FILLED CMU (ASTM C-90)	3/16" ELCO ULTRACON	1-3/4"	2-1/2"
FLANGE	2X MIN. SOUTHERN PINE (G=0.55)	3/16" ITW TAPCON OR ELCO ULTRACON	1-3/8"	7/8"
FLANGE	2X MIN. SOUTHERN PINE (G=0.55)	#10 WOOD SCREW	1-3/8"	7/8"
FLANGE	16 GAUGE (0.060") MIN. STEEL STUD (33 KSI YIELD MIN.)	#10-16 HILTI KWIK-FLEX OR ITW TEKS SELF-DRILLING SCREW	FULL THREAD THRU 0.060"	7/16"
FLANGE	1/8" ALUM. (6063-T5 MIN.) OR 1/8" STEEL (33 KSI MIN.)	#10 GRADE 5 SELF-TAPPING / DRILLING SCREW	FULL THREAD THRU 0.125"	7/16"
FIN	2X MIN. SOUTHERN PINE (G=0.55)	#10 WOOD SCREW	1-1/2"	1/2"

NOTE: UNIF-FRAME OPTIONS NOT SHOWN.

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6100 PVC SINGLE HUNG IMPACT

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LUCAS A. TURNER
 No. 58201
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER

7/23/2020

LUCAS A. TURNER, P.E.
 FL PE # 58201
 2428 Old Natchez Trc Trl
 Camden, TN 38320
 PH. 941-380-1574

SHEET DESCRIPTION:
INSTALLATION DETAILS

DRAWN BY: EMK DATE: 05/26/15
 DESIGNED BY: CWS-1068 REV: D
 SCALE: 1:2 SHEET: 5 OF 5

FLANGE REMOVAL NOTE: PARTIALLY OR FULLY REMOVING THE FLANGE, UP TO AND INCLUDING A BOX-FRAME APPLICATION IS ACCEPTABLE PROVIDED:

- MIN. 1/4" FILLET OF CONSTRUCTION-GRADE ADHESIVE CAULK IS APPLIED INSIDE AND OUT, FULL PERIMETER, BY INSTALLER.
- PRODUCT ANCHORAGE IS IN ACCORDANCE WITH REQUIREMENTS AS SHOWN FOR FLANGE WINDOWS.

Doors & Windows



QUOTE

CUSTOMER INFORMATION
CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST. PETERSBURG, FL 33714

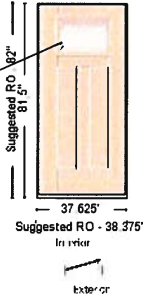
PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

LINE ITEM #	DESCRIPTION	QTY	PRICE	EXTENDED
100-1	Exterior Fiberglass Entry Door Standard	1		

Exterior Fiberglass
Entry Door
Standard

Unit Type and Dimensions :
Overall Size = 37.625 x 81.5
Frame Width = 37.625
Installation Type: Renovation
Unit Type: Pre-Hung
Unit Slab Size: Book Size
Weather Zone: Wind-Borne Debris Region - WBDR
Fire Rating: Not Rated
Door Swing: Inswing
Door Configuration: Left Hand
Nominal Width: 3'0"
Nominal Height: 6'8"

Grids to be added



Design Options :
Material: Smooth-Star
Panel Design: Craftsman Lite 2 Panel Shaker
Cut Down: Yes
Height Cutdown: 0.5
Width Cutdown: 0
Glass Size: 21x15
Glass Type: Clear Glass
Grille Style: None
Internal Grille Color: None
Glass Style: Clear
Caming Option: None
Low-E: Yes
Add SDL to Glass: Yes
SDL Pattern: Craftsman 4 Lite
SDL Bar Width: 7/8" Smooth Contoured

Sidelites and Transoms :

Wrapping :
Jamb Material: Composite Smooth White Frame
Jamb Size: 4 9/16
Exterior Trim: No Trim
Exterior Trim Material: Composite
Interior Casing: None
Sill Type: Composite Adjustable
Send Trim Loose: Yes
Sidelite Sill: Composite Adjustable
Sill Finish: Mill
Sill Cover: No



QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME: Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST. PETERSBURG, FL 33714

PREPARED BY: brennen.bourgeois@bcsi-fl
QUOTE NUMBER: 25342
ESTIMATED SHIP DATE: 06/30/2021

Sill Pan: No
Knocked Down: No

Finishing :
Door Finish Type: Unfinished
Exterior Trim & Jamb Finish: Unfinished
Interior Trim & Jamb Finish: Unfinished

Hardware and Accessories :
Hinge Color: Stainless Steel
Hinge Type: Self-Aligning Ball-Bearing
Bore: Double Bore
Add Lockset Hardware: No
Backset: 2 3/8
Deadbolt Strike Prep: 9206 Standard
Screw Cover: No
Dentil Shelf: No
Peep Site: No
Security Strike: No
Security Strike Qty: 1
Weather Strip Color: Bronze
Rain Deflector: No
Dunnage Door: No



QUOTE

CUSTOMER INFORMATION

CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST. PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

LINE ITEM #	200-1	DESCRIPTION	QTY	PRICE	EXTENDED
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Exterior Fiberglass
Double Entry Door
Standard

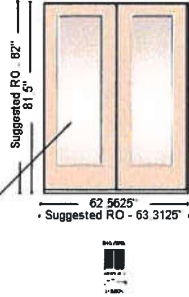
1

Unit Type and Dimensions :
Overall Size = 62.5625 x 81.5
Frame Width = 62.5625
Installation Type: Renovation
Unit Type: Pre-Hung
Unit Slab Size: Book Size
Weather Zone: Wind-Borne Debris Region - WBDR
Fire Rating: Not Rated
Door Swing: Inswing
Door Configuration: LH Active RH Inactive
Nominal Width: 5'0"
Nominal Height: 6'8"

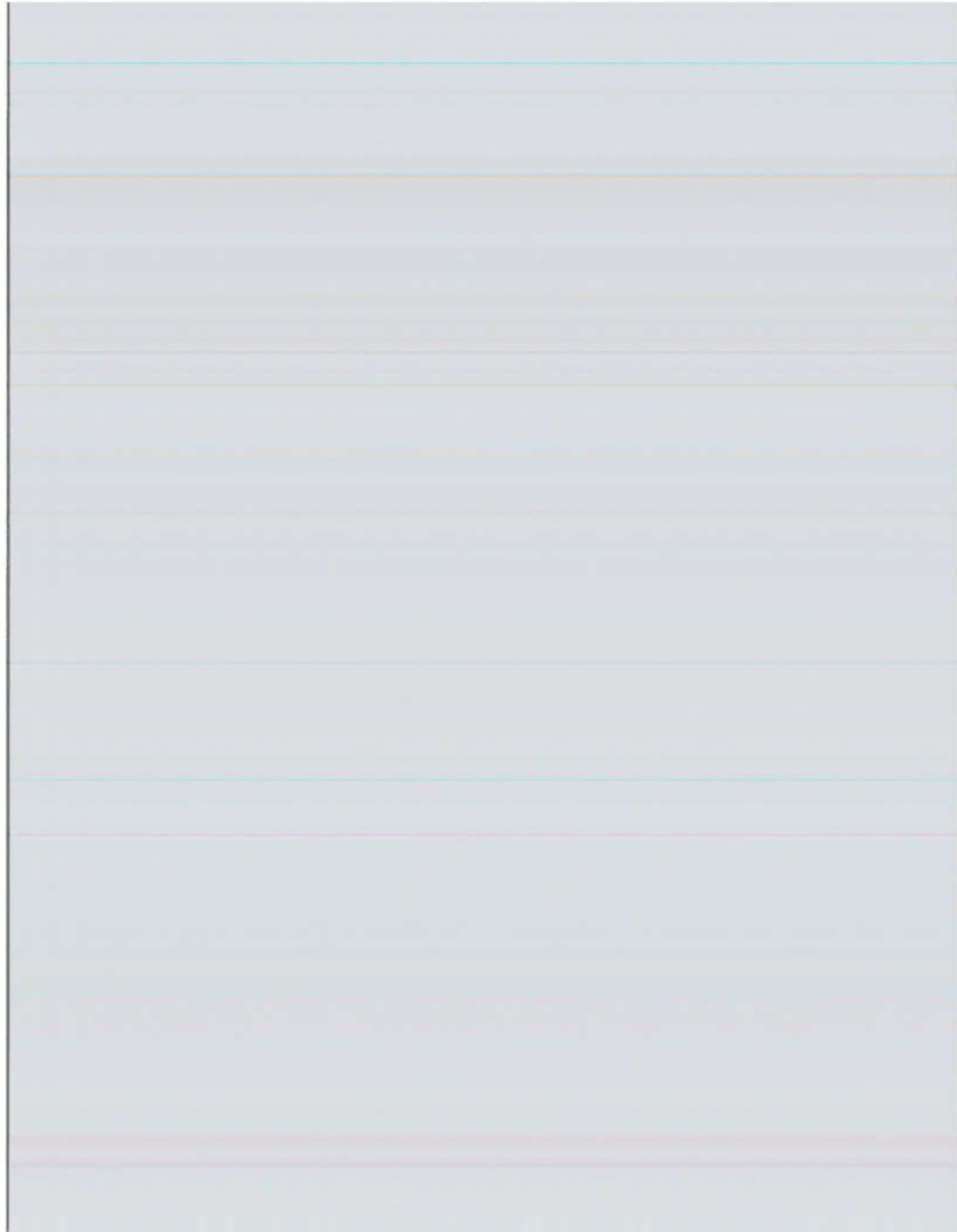
Design Options :
Material: Smooth-Star
Panel Design: Full Lite W/ No Stile Lines
Cut Down: Yes
Height Cutdown: 0.5
Width Cutdown: 0
Glass Size: 20x64
Glass Type: Clear Glass
Grille Style: None
Internal Grille Color: None
Glass Style: Clear
Caming Option: None
Low-E: Yes
Add SDL to Glass: Yes
SDL Pattern: Custom Lite
SDL Bar Width: 7/8" Smooth Contoured

Sidelites and Transoms :

Wrapping :
Jamb Material: Composite Smooth White Frame
Jamb Size: 4 9/16
Exterior Trim: No Trim
Exterior Trim Material: Composite
Interior Casing: None
Sill Type: Composite Adjustable
Send Trim Loose: Yes
Sidelite Sill: Composite Adjustable
Sill Finish: Mill
Sill Cover: No



Grids to be added





QUOTE

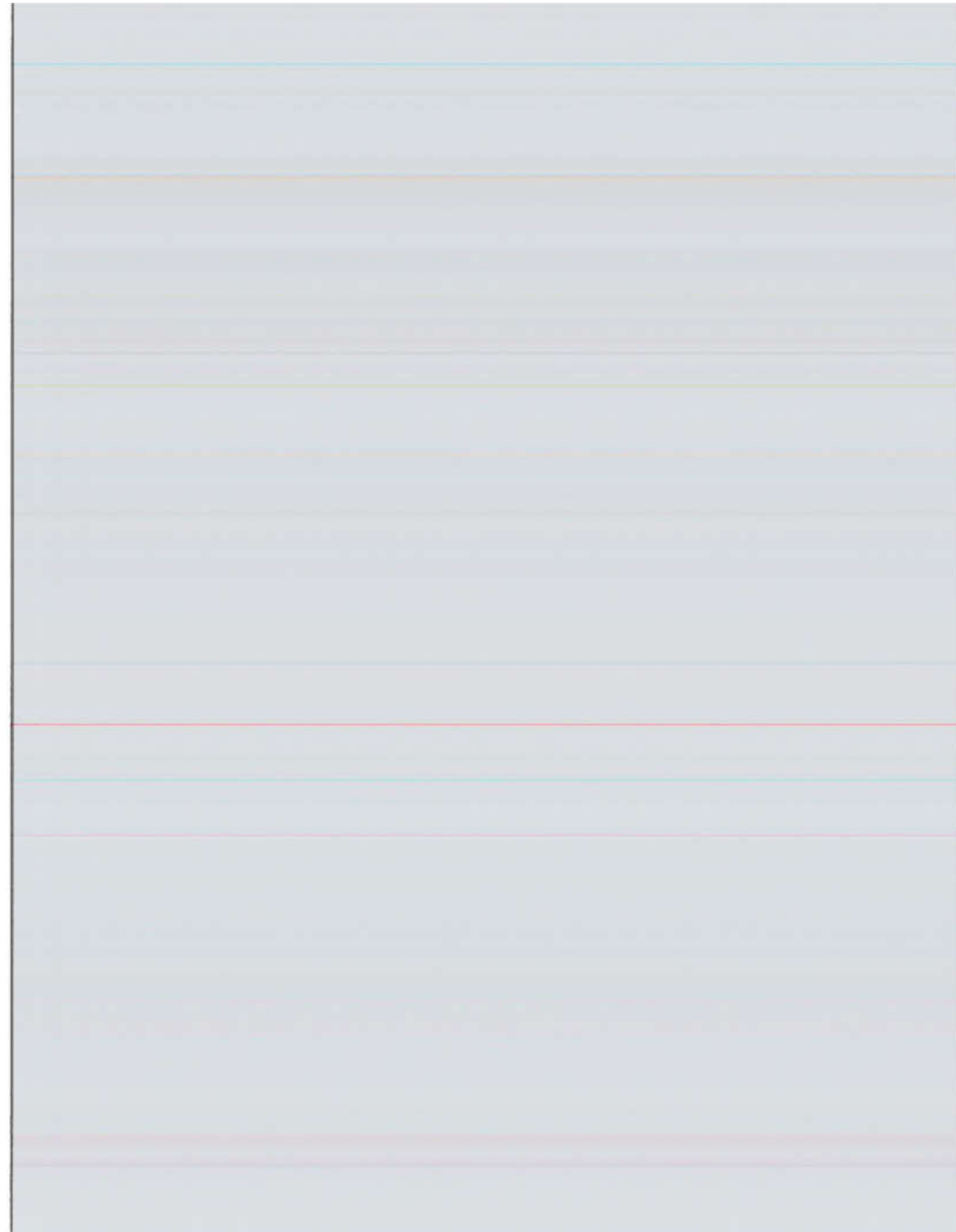
PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

CUSTOMER INFORMATION
CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME: BAY GLASS & WINDOWS
3150 39th Ave N
ST. PETERSBURG, FL 33714

Sill Pan: No
Knocked Down: No

Finishing :
Door Finish Type: Unfinished
Exterior Trim & Jamb Finish: Unfinished
Interior Trim & Jamb Finish: Unfinished

Hardware and Accessories :
Hinge Color: Stainless Steel
Hinge Type: Self-Aligning Ball-Bearing
Bore: Double Bore
Inactive Bore: No Bore
Handleset for Inactive Door: No
Add Lockset Hardware: No
Backset: 2 3/8
Deadbolt Strike Prep: 9206 Standard
Screw Cover: No
Dentil Shelf: No
Peep Site: No
Security Strike: No
Weather Strip Color: Bronze
Rain Deflector: No





QUOTE

CUSTOMER INFORMATION
CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME BAY GLASS & WINDOWS
3150 39th Ave N
ST.PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

LINE ITEM #	300-1	DESCRIPTION	QTY	PRICE	EXTENDED
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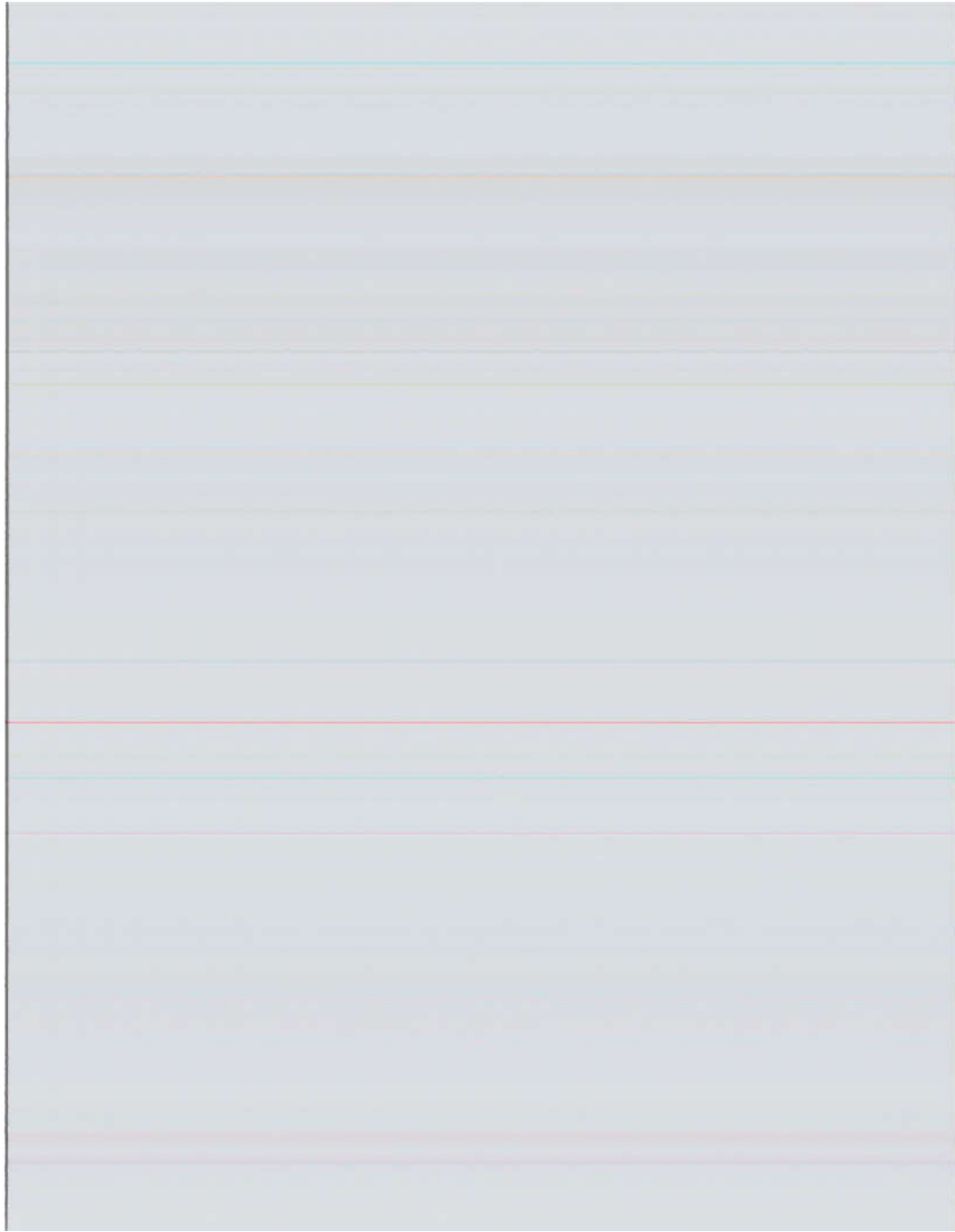
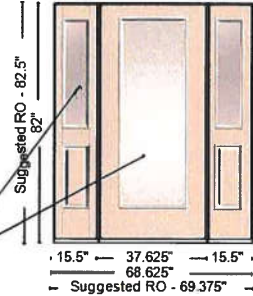
Exterior Fiberglass
Entry Door
Double Sidelite

Unit Type and Dimensions :
Overall Size = 68.625 x 82
Unit 1, 3: Sidelite Frame Width = 15.5
Unit 2: Door Frame Width = 37.625
Installation Type: Renovation
Unit Type: Pre-Hung
Unit Slab Size: Book Size
Weather Zone: Wind-Borne Debris Region - WBDR
Fire Rating: Not Rated
Door Swing: Inswing
Door Configuration: Left Hand
Sidelite Swing: Fixed
Nominal Width: 3'0"
Nominal Height: 6'8"
Nominal Width - SL: 14"
Nominal Height - SL: 6'8"

Design Options :
Material: Smooth-Star
Panel Design: Full Lite W/ No Stile Lines
Cut Down: No
Width Cutdown: 0
Glass Size: 22x64
Glass Type: Clear Glass
Grille Style: None
Internal Grille Color: None
Glass Style: Clear
Caming Option: None
Low-E: Yes
Add SDL to Glass: Yes
SDL Pattern: Custom Lite
SDL Bar Width: 7/8" Smooth Contoured

Sidelites and Transoms :
Material - SL: Smooth-Star
Glass Layout - SL: 1/2 Lite
Panel Design - SL: Half Lite Sidelite 1 Panel
Glass Size - SL: 8x36
Glass Type - SL: Clear Glass
Grille Style - SL: None
Internal Grille Color - SL: None
Glass Style - SL: Clear
Caming Option - SL: None

*Grids to
be added*





QUOTE

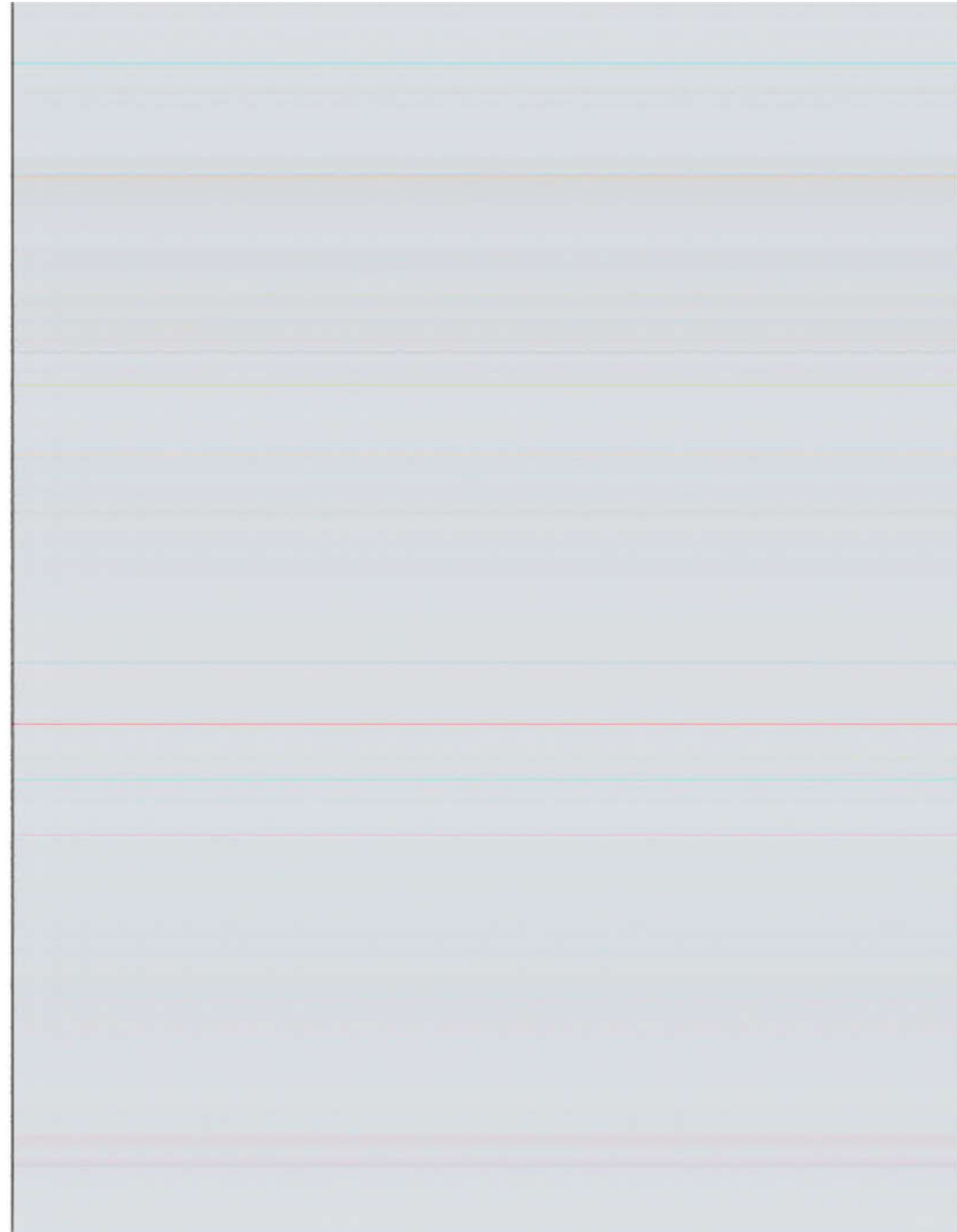
CUSTOMER INFORMATION
CUSTOMER PO: Konstrukt - Hussey
JOB NAME Konstrukt - Konstrukt -
COMPANY NAME:BAY GLASS & WINDOWS
3150 39th Ave N
ST.PETERSBURG, FL 33714

PREPARED BY brennen.bourgeois@bcsi-fl
QUOTE NUMBER 25342
ESTIMATED SHIP DATE 06/30/2021

Low-E - SL: Yes

Wrapping :
Jamb Material: Composite Smooth White Frame
Jamb Size: 4 9/16
Exterior Trim: No Trim
Exterior Trim Material: Composite
Interior Casing: None
Interior Mull Casing: None
Sill Type: Composite Adjustable
Send Trim Loose: Yes
Sidelite Sill: Composite Adjustable
Sill Finish: Mill
Sill Cover: No
Sill Pan: No
Knocked Down: No

Finishing :
Door Finish Type: Unfinished
Touch-Up Kit: Yes
Exterior Trim & Jamb Finish: Unfinished
Interior Trim & Jamb Finish: Unfinished





By: Holly Vidas

Quotation

Quote #: 2004610/1

1900 S.W. 44th Avenue, Ocala, FL 34474
Ph: 352-368-6922 Fax: 352-368-2928

BAY GLASS & WINDOW INC. Preferred Builder

Bill To:	Ship To:
3150 39TH AVENUE NORTH ST. PETERSBURG, FL 33714 Ph: 727 525-3828	SHIP TO 3150 39TH AVENUE NORTH ST. PETERSBURG, FL 33714 Ph: 727 525-3828

Route: StPet
Cust No. BAY101-P3620
Cust PO#: Konstrukt - Hussey (Main House)

Version 1

<p>Item No. 1 Qty: 1 Model: 6100-SH Color: WHITE Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [BOX FRAME], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, BOX FRAME ROLL FORMED Half Screen Classic Contour SDL, STANDARD GRIDS, SCREEN AAMA Std. Gold Labeling 4 WIDE, 1 HI GRIDS IN FIXED WHITE, FPA #177911 Clr. Opng. MEETS EGRESS, ID: 2</p>	<p>Dimensions TIP: 44 1/4 x 67 ACTUAL: 43 x 65 3/4 SCREEN: 18 X 16</p>
---	--

6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

<p>Item No. 2 Qty: 1 Model: 6100-SH Color: WHITE Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [BOX FRAME], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, BOX FRAME ROLL FORMED Half Screen Classic Contour SDL, STANDARD GRIDS, SCREEN AAMA Std. Gold Labeling 1 HI GRIDS IN FIXED WHITE, FPA #177911 DOES NOT MEET EGRESS, ID: 3</p>	<p>Dimensions TIP: 32 3/8 x 34 7/8 ACTUAL: 31 1/8 x 33 5/8 SCREEN: 18 X 16</p>
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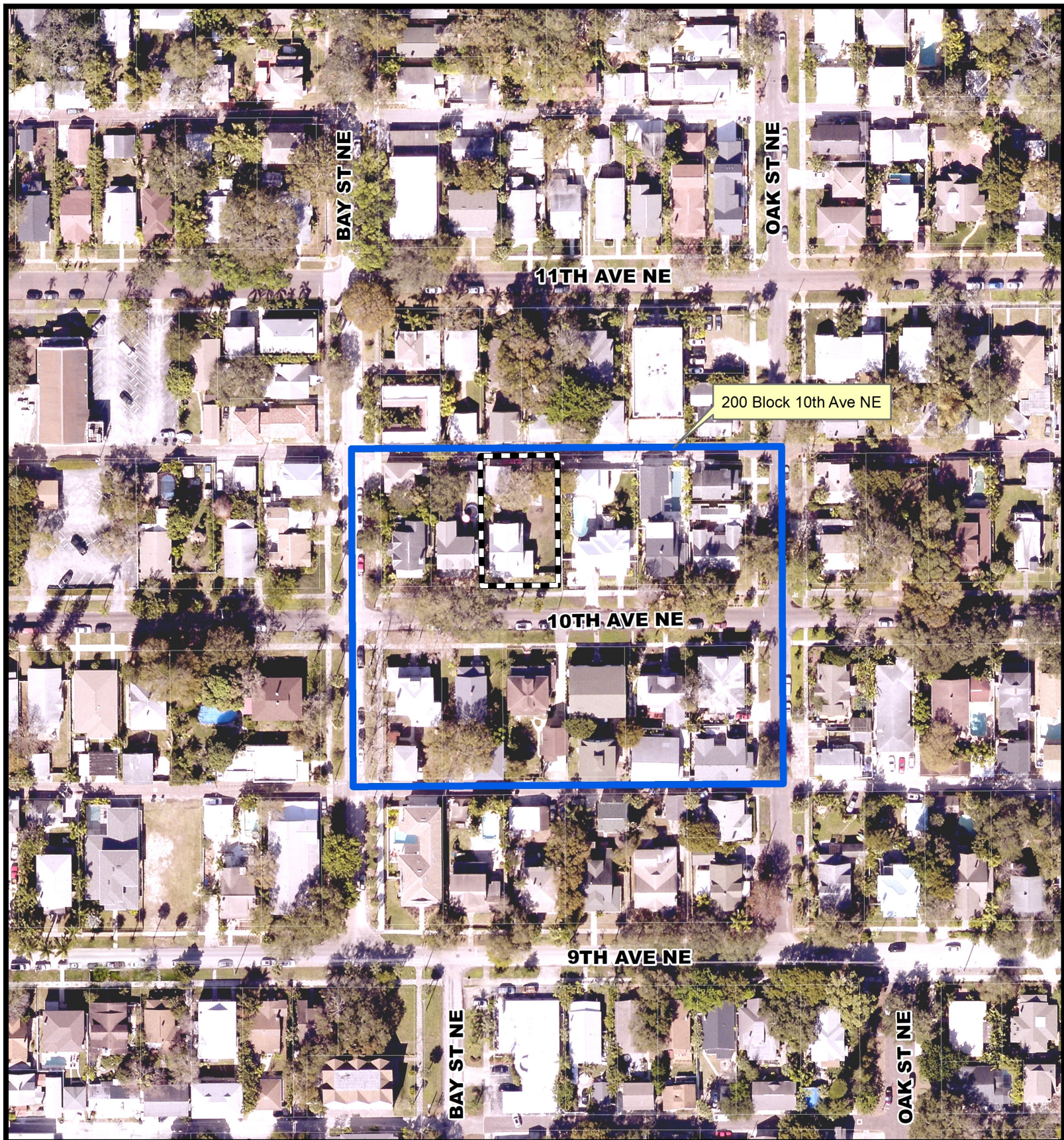
6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

<p>Item No. 3 Qty: 1 Model: 6100-SH Color: WHITE Desc: Series 6100 Storm Strong Single Hung DP:+50/-50, [BOX FRAME], IMPACT, [AUTO-LOCK], WHITE FRAME, 18 x16 Screen LOW E 366, Insulated, BOX FRAME ROLL FORMED Half Screen Classic Contour SDL, STANDARD GRIDS, SCREEN AAMA Std. Gold Labeling 1 HI GRIDS IN FIXED WHITE, FPA #177911 DOES NOT MEET EGRESS, ID: 4</p>	<p>Dimensions TIP: 32 1/4 x 34 7/8 ACTUAL: 31 x 33 5/8 SCREEN: 18 X 16</p>
--	--

6100-SH- NFRC Rating: CWS-K-29-00648-00001 / U-Factor=0.28, Solar SHGC=0.22, V-Transmit=0.5

Appendix D:

Maps of Subject Property



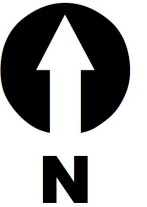
Community Planning and Preservation Commission

217 10th Ave NE

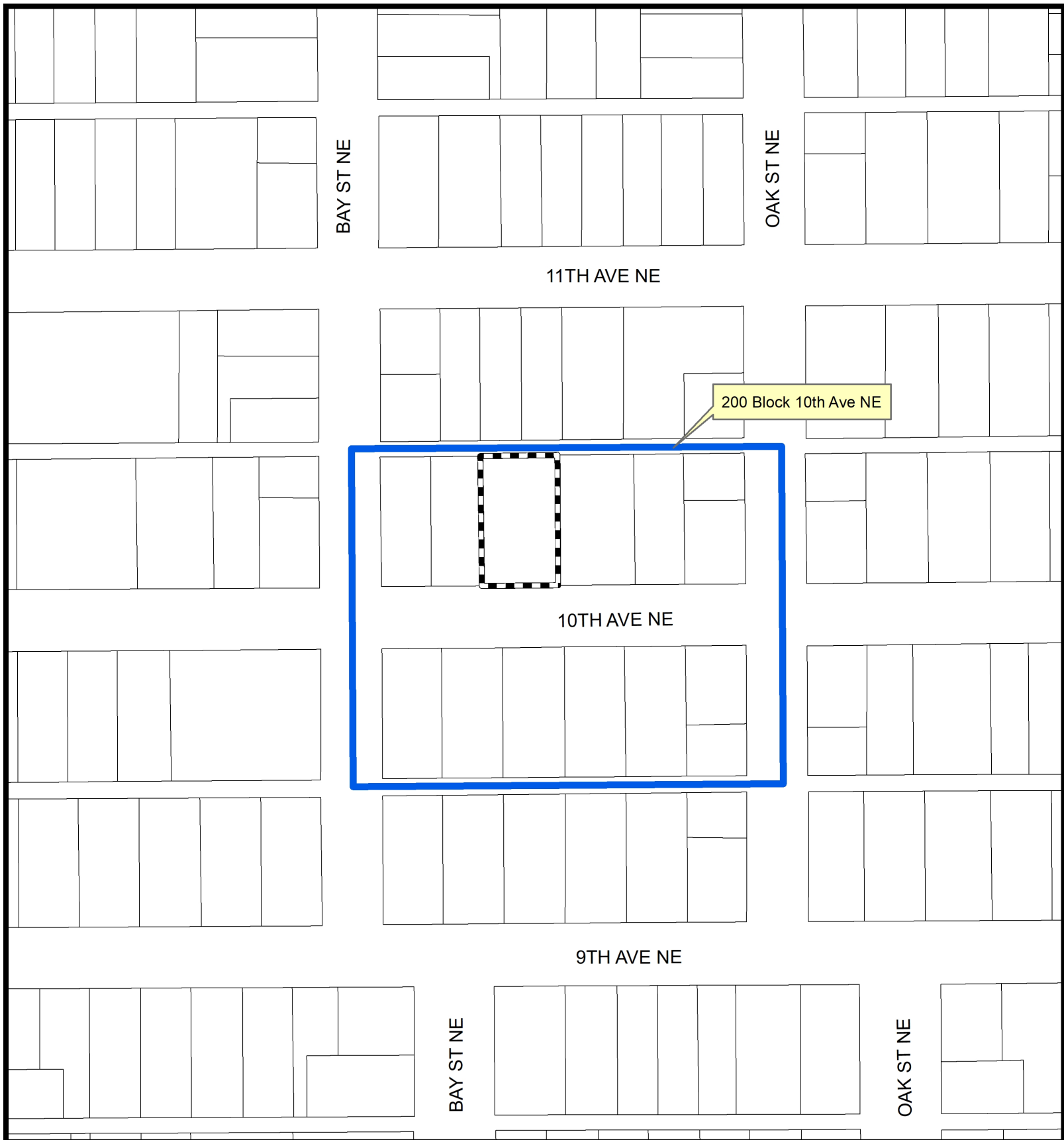
**AREA TO BE APPROVED,
SHOWN IN**



**CASE NUMBER
21-90200115**



**SCALE:
1" = 140'**



Community Planning and Preservation Commission

217 10th Ave NE

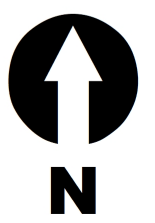
AREA TO BE APPROVED,

SHOWN IN



CASE NUMBER

21-90200115



SCALE:
1" = 140'